



# Construction Permit Application

144 Wilcox Dr. Bruceville-Eddy, Texas 76524

Phone: 254-859-5700

**ALL information is required for submittal (Incomplete application WILL Not be processed)**

**ALL PERMIT REQUEST MUST BE EMAILED TO: [rflores@bruceville-eddy.us](mailto:rflores@bruceville-eddy.us)**

Date Submitted: _____	
Company Name: _____	Contact Person: _____
Contractor Address: _____	
City: _____	State: _____ Zip: _____
Phone Number: _____	Email: _____
Job Address _____ Property Owner: _____	
Job Type:    Residential          Commercial	
Estimated Cost: _____	Total Building Square Footage: _____
Job Description: _____	
Plumber: _____ License # _____	
Electrician: _____ License #: _____	
Mechanical: _____ License #: _____	

## **ALL RESIDENTIAL MINIMUM PLAN REQUIREMENTS FOR SUBMITTAL AND REVIEW**

New House: 1 Complete Digital Set— (including site plan, foundation plan, floor plan, cross section plan, electrical plan, roof & floor framing, elevation & res— check or 3rd party.) Remodel / Addition: 1 Floor Plan (include details, scope of project and energy data if required)

Other Project: Provide detailed drawing and/or measurements as needed

## **ALL COMMERCIAL MINIMUM PLAN REQUIREMENTS FOR SUBMITTAL AND REVIEW**

New Building: 1 digital— (including all site, civil plans, landscape, and drainage)

Interior Finish Out/ Renovations to Existing Building— (no expansion of Facility)- 1 Complete Digital Set

**\*Per City Ordinance 3.02.004: Permit will be doubled in fees if you start the project before you receive the permit. Permit can take up to 10-15 business days to be approved. \***



*The City of Bruceville-Eddy Rising into the Future*

144 Wilcox Drive  
Eddy, Texas 76524

[www.bruceville-eddy.us](http://www.bruceville-eddy.us)

Phone: (254) 859-5964  
Fax: (254) 859-5779

## Permit Information

Please note that it can take **10-15 business days** to get a permit approved by our inspectors' Bureau Veritas. If the inspector has questions or issues regarding your application, this could delay the process and delay approval of your permit.

During the waiting process to get your permit approved, **NO** work can be done until it is approved by Bureau Veritas. If work begins before you receive your approved permit, the permit fees will be **doubled** per the city ordinance listed below:

### **§ 3.02.004 Permits required; fees required.**

Permits are required for all installations, repairs, alterations or work to be done within the corporate limits of the city as set out in the city's permit schedule and must be paid for before the work commences. The fees shall be doubled for any permit for which the work began before the fees were paid.

(1) Permits for electrical installations, repairs or alteration shall be required and all the fees for such permits must be paid before work commences.

(2) Electrical permits shall only be issued to a master electrician or master sign electrician; or

(3) Except in new construction, a person applying for a permit for electrical work to be performed on one homestead; when:

(A) The person is listed as the property owner with a homestead exemption on the tax roll of county; and

(B) The work is to be performed by the owner of the property.

(Ordinance 08-13-2009-01 adopted 8/13/09; Ordinance 7-28-2022-02 adopted 8/25/2022)

Please sign below that you have read, understood, and received this information.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date



## **Bureau Veritas Contact Information (Fort Worth)**

### **Permit Submittal**

The permit documents and fees will be submitted to the city. Submittal documents should be complete to expedite plan review and permit issuance. Please contact the city for a complete list of permit submittal requirements.

### **Plan Review**

Bureau Veritas will be conducting residential and commercial plan reviews. The applicant will be contacted by Bureau Veritas if revisions are needed. You may contact Bureau Veritas' Fort Worth Plan Review Department for the status of your permit at (817) 335-8111 / toll free (877) 837-8775.

### **Inspection Requests**

Please contact Bureau Veritas to request inspection(s). Any of our permit technicians can assist you. Inspections requested by 4:00 pm Monday – Friday will be performed the next business day. Inspection requests can also be emailed to the Bureau Veritas office.

Email Inspection requests to: [inspectionstx@us.bureauveritas.com](mailto:inspectionstx@us.bureauveritas.com)

Inspection Request line: (817) 335-8111 OR Toll Free: (877) 837-8775

### **Field Inspections**

Inspectors assigned to your area can be contacted via cell phone. Please call the Bureau Veritas office at (817) 335-8111 / toll free (877) 837-8775 for your inspector's name and number.

**We look forward to working with you to ensure that the community is provided with a safe and durable built environment.**



## New Residential Plan Review Checklist

Project Address: \_\_\_\_\_ Date: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Note: Incomplete permit applications will delay the plan review and permit approval processes.

**Permit Application shall be completed in full and include applicant's name, phone number and email address with an original signature and submitted electronically with the following information:**

- \_\_\_\_\_ **Site Plans to include:**
  - Legal Description (lot, block, subdivision)
  - North arrow and scale
  - Property lines and lot dimensions
  - All easements
  - Proposed structure and all existing buildings
  - Driveways and sidewalk dimensions
  - Setbacks for front, rear and sides of house must be shown on site plan
- \_\_\_\_\_ **Residential Energy Code Compliance Report – Rescheck, IC3 report and Energy Star reports accepted. [www.energycodes.org](http://www.energycodes.org)**
- \_\_\_\_\_ **Foundation Plans – Conventional Rebar Slab Foundation, Regionally Accepted Practices, Foundation Detail (Reference IRC) or Engineered plans or Post Tension Foundation – Engineered Foundation plans and letter. Engineered plans must state that the foundation was designed for the soil conditions on that particular lot and that the foundation meets the design criteria of the IRC.**
- \_\_\_\_\_ **Construction plans to include floor plan, exterior elevations, roof design, mechanical design, electrical design, plumbing design, construction details, window/door schedule, masonry on wood details, sheer wall details (engineered if required by the city).**
- \_\_\_\_\_ **Driveway approaches and drainage culverts – Engineered plans (Driveways accessing State Highways require TXDOT permit)**

# Submittal Guidelines for Residential Permits

Provide (2) copies of all documents: (1) For City Retention and (1) For Contractor

## New Single Family Residence

- Application
- Site Plan
- Building Plans
- Energy Compliance Report



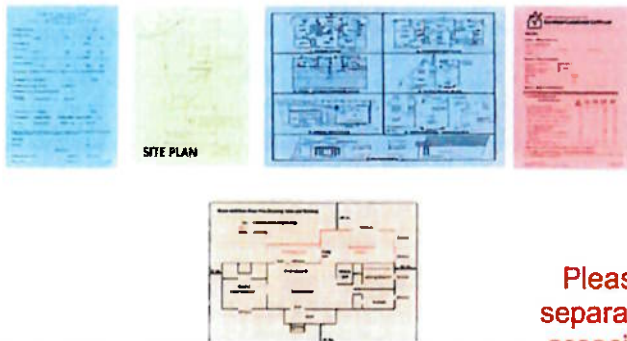
## New Residential Detached Accessory Building

- Application
- Site Plan
- Building Plans



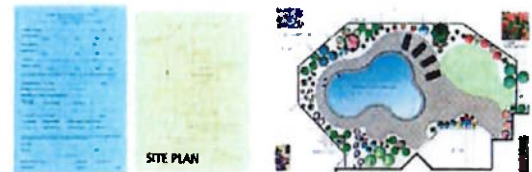
## New Single Family Addition

- Application
- Site Plan
- Building Plans
- Energy Compliance Report
- Floor Plan Showing Existing and New Addition



## Pool and Spas

- Application
- Site Plan
- Pool Detail



## Trade Permits / Minor / No Review

- Application / Note: Inspection Only



**Note:**  
Please do not submit separate "Trade Permits" associated to residential additions - remodels or alterations.

Trades are all included under the residential addition - remodel and alteration permit projects.

Electrical Repair  
Plumbing Repair  
Mechanical Repair  
Electrical Service Upgrade  
Siding / Veneer  
Re-Roof  
Irrigation System  
Concrete Deck / Slabs  
Foundation Repair

## Interior Residential Remodel

- Application
- Scope of Work Description Sheet
- Floor Plan / Before and After



The diagram is a site plan for a property. It shows a building labeled "FIRE 304.3" with a "NEW" structure and an "EXISTING" structure. A "CONCRETE DRIVE" is shown on the left. The plan includes various dimensions and setbacks, with red arrows pointing to specific features. Annotations include "EXAMPLE" and "NEW". A north arrow is located in the upper left. The plan is titled "SITE PLAN" and includes a table for "ADDRESS", "LOT #", "BLOCK #", and "SUBDIVISION / PLAT NAME".

PROVIDE PROPERTY DIMENSIONS

FOR ADDITIONS INDICATE NEW AND EXISTING

EXAMPLE

EXAMPLE

EXAMPLE

EXAMPLE

CONCRETE DRIVE

NEW

EXISTING

FIRE 304.3

CONCRETE WALK

ADDRESS

LOT # / BLOCK #

SUBDIVISION / PLAT NAME

- ☐ North Arrow
- ☐ Address / Subdivision / Lot Number / Block Number
- ☐ Scale: i.e.  $1" = 10'$  /  $1" = 20'$  /  $1" = 30'$  Please use either an Engineer or Architectural scale only. Nonstandard scales are not acceptable for example  $1" = 26.5$  or  $1" = 16'$
- ☐ Parcel / Property Dimensions all sides.
- ☐ Show setback dimensions to all structures from property line and distances between buildings .
- ☐ Label all structures i.e. Residence, Barn, Detached Garage, Storage Shed, etc.
- ☐ Dedicated driveway access to property showing street name and or alley where applicable.
- ☐ Driveway must be labeled Driveway or "DW"
- ☐ Show Easements (ingress / egress easements, public utility easements, etc.
- ☐ Square footage of all structures / existing and new



# Construction plans should include the following details

## 1. Floor Plan

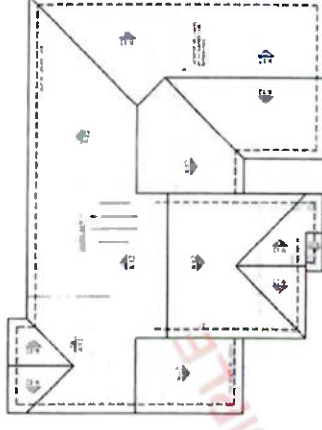
- Dimensions, room titles, and ceiling heights
- Location and labeling of all appliances
- Square footage summary (Livable, garage, patios, and total under roof)
- Door and window type and size (ex: single hung, French, etc.)
- All adjacent rooms to an addition in its entirety showing the door and window sizes



1. Floor Plan

## 2. Roof / Floor Framing Plan

- Size of all individual header and beam sizes
- Label all structural members such as rafters, joist, trusses, over framing, and their spacing



2. Roof / Floor Framing Plan

## 3. Cross Sections

- All connection details keyed in
- Basic outline of all structural members Including beams, trusses, hardware, blocking, footings, post, concrete slab, Insulation, over framing, etc.



3. Cross Section Plan

## 4. Foundation Plan

- Post sizes at all columns supporting concentrated loads
- Footing size dimensions, and depth



4. Foundation Plan

## 5. Electrical Plan

- Receptacle and lighting placement
- Labeling of special hardware required such as disconnects, weatherproof receptacles, GFCI outlets, meter and sub-panel locations, etc
- Location of smoke and carbon detectors
- Location of all appliances such as air conditioners and air handlers

## 6. Elevations

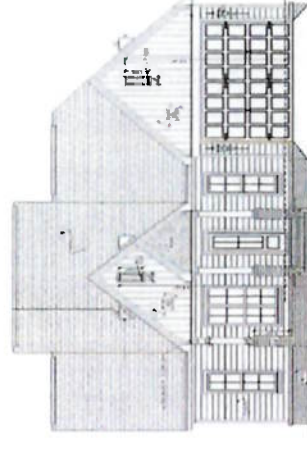
- Masonry Percentage calculations
- Height location for grade, finish floor, header heights, top plate heights, ridges, etc.
- Slope of roof and floor elevation heights need to be represented correctly.  
Exterior finishes for roofs and walls



5. Electrical Plan

## 7. Other Documents

- Energy Report
- Engineering
- Other Documents

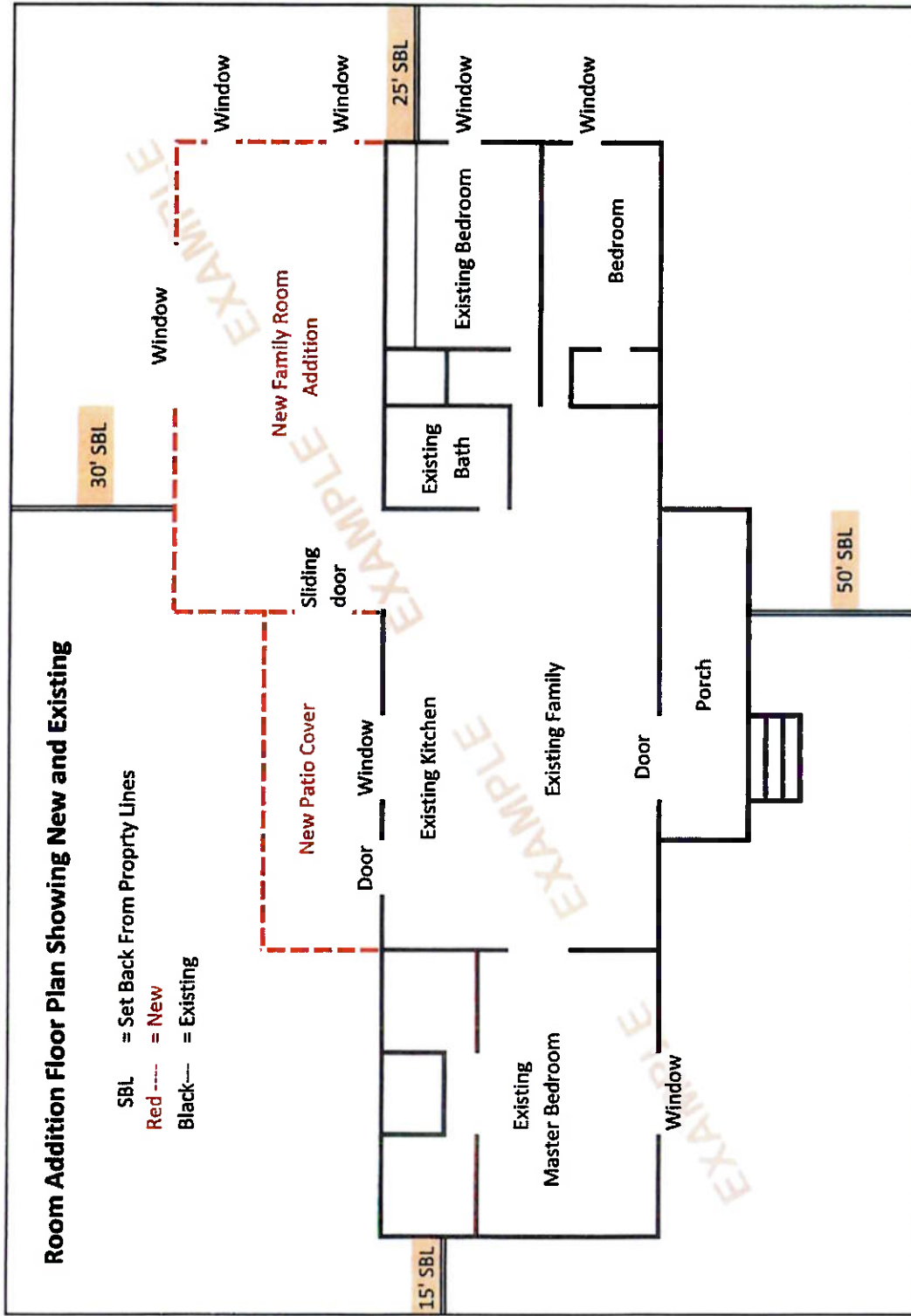


6. Elevation

Stair and Guardrail Details (If applicable)

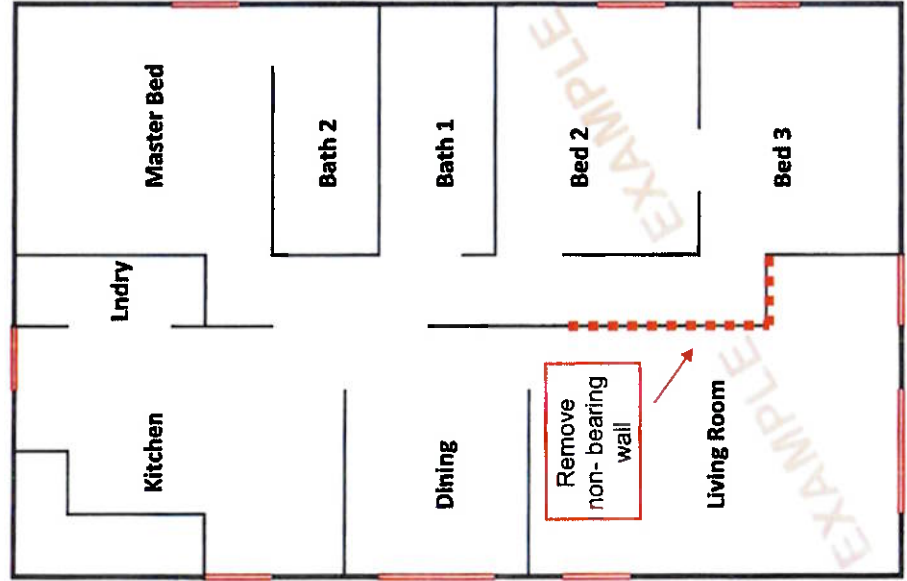
# Room Addition Floor Plan Showing New and Existing

SBL = Set Back From Property Lines  
 Red --- = New  
 Black --- = Existing

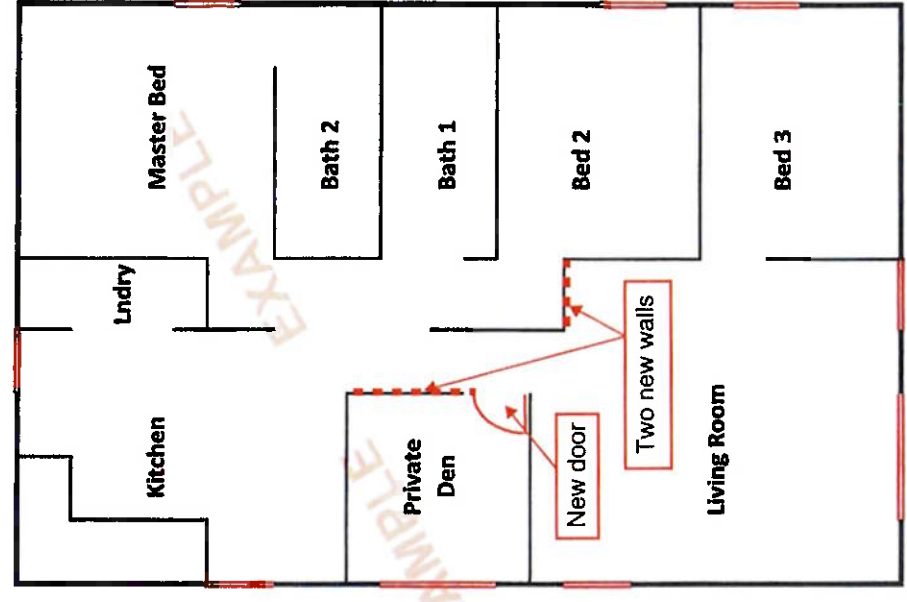




Example: Residential Remodel Scope of Project



Existing Floor Plan



Proposed Floor Plan

# Remodel / Scope of Project

For

The Smith Residence Remodel / 1234 Central Avenue, Anywhere USA 12345

## Living Room:

- Shorten hallway and increase living room area by removing section of non-bearing wall that separates the hall from the living room (see floor plan)
- Replace all electrical receptacles and switches with new
- Install ceiling fan
- Replace all trim / molding
- Paint
- Remove and replace carpet

## Dining Room:

- Convert Dining room into Private Den by adding a wall and passage door
- Replace all electrical receptacles and switches with new
- Install ceiling fan
- Replace all trim / molding
- Paint
- Remove and replace carpet

## Kitchen and Laundry area

- Install new cabinets and counter tops
- Install new plumbing fixtures
- Install new appliances
- Replace all electrical receptacles and switches with new (GFCI)
- Install ceiling fan over sitting area
- Replace all trim / molding
- Paint
- Install tile flooring

Page 1 of 2 for interior remodel

## Master Bedroom / Bedroom 2 / Bedroom 3

- Replace all electrical receptacles and switches with new
- Install ceiling fan
- Replace all trim / molding
- Paint
- Remove and replace carpet

## Bath 1 and 2

- Replace all electrical receptacles and switches with new (GFCI)
- Install exhaust fan
- Replace all trim / molding
- Paint
- Install tile flooring

### If removing a bearing wall:

- Indicate / Highlight location of wall
- Provide detail of beam size and support system including spread footing size.

# Energy Compliance Report

An Energy Compliance report is a document that verifies the structures meets and or exceeds the minimum requirements of the International Energy Conservation Code or IECC. The report will include the address / Location of the structure along with other information specific to the structure. It will state that the structure meets, exceeds or PASSES the energy efficiency requirements. The following three types are most common in calculating and generating an energy report and are acceptable. In addition an Energy Specialist Company may also provide a report.



**REScheck**<sup>TM</sup>

International  
**IC3**  
CODE COMPLIANCE  
CALCULATOR

**REM/Rate**<sup>TM</sup>



**BUREAU  
VERITAS**

## Typical Residential Inspections

BV Task Management System has the ability to add other department approvals to the list of required inspections, as requested by the city.

<input type="checkbox"/> Plumbing Rough	_____
<input type="checkbox"/> Water Service	_____
<input type="checkbox"/> Yard Sewer	_____
<input type="checkbox"/> Form Board Survey	_____
<input type="checkbox"/> Foundation	_____
<input type="checkbox"/> Electric Rough	_____
<input type="checkbox"/> Mechanical Rough	_____
<input type="checkbox"/> Gas Rough Piping/Test	_____
<input type="checkbox"/> Plumbing Top-Out	_____
<input type="checkbox"/> Framing	_____
<input type="checkbox"/> Energy Insulation	_____
<input type="checkbox"/> Construction Electric	_____
<input type="checkbox"/> Gas Final	_____
<input type="checkbox"/> Electrical Final	_____
<input type="checkbox"/> Mechanical Final	_____
<input type="checkbox"/> Plumbing Final	_____
<input type="checkbox"/> Energy Final	_____
<input type="checkbox"/> Building Final	_____
<input type="checkbox"/> Customer Svc. Insp. Form	_____
<input type="checkbox"/> T-Pole	_____
<input type="checkbox"/> Flatwork / Approach	_____